

**LETTER OF TRANSMITTAL**

**PROJECT NO. #** 2014-399

**DATE:** December 1, 2021

**TO:** Town of Camden  
29 Elm Street  
Camden, ME 04843

**RE:** Site Plan Review  
100 Mt. Battie Street – Site Redevelopment  
Camden, ME

WE ARE SENDING YOU ☒ enclosed ☐ under separate cover

☒ Prints ☐ Mylar ☐ Deed description ☐ Proposal ☐ Billing  
☐ Letter ☐ Report ☐ Copy of letter ☐ HHE 200 ☒ Application

COPIES	DATE	DESCRIPTION
9	December 1, 2021	Site Plan Review Submission
1	December 1, 2021	Ck #38326 \$565.00

**THESE ARE TRANSMITTED AS CHECKED BELOW:**

☐ As requested ☒ For your use ☒ For approval  
☐ For Review and Comment ☐ Return with Corrections ☐ Other

**REMARKS:**

If you have any questions, please call us at 236-4365. Thank you.

Sincerely,

**Gartley & Dorsky Engineering & Surveying, Inc.**



William B. Gartley, P.E.  
President



**CRANESPORT, LLC  
100 MT. BATTIE STREET, CAMDEN, MAINE  
SITE PLAN REVIEW**

**SUBMISSION LIST  
December 1, 2021**

<u>Description of Document</u>	<u>Document Date</u>
1. Application for Site Plan Review	December 1, 2021
2. Application for Sign Permit	December 1, 2021
3. Site Plan Review Letter	December 1, 2021
4. Stormwater Management Summary	December 4, 2018
5. Drainage Plan (D1)	December 4, 2018
6. Gartley & Dorsky Capability Statement	November 2021
7. Camden Tax Map 113	October 29, 2020
8. Statutory Warranty Deed (Book 4846, Page 246)	October 3, 2014
9. Site Photographs	November 30, 2021
10. Abutters Map	December 1, 2021
11. Site Plan – C1	January 29, 2019 (Revised November 23, 2021)
12. Site Details – C2	January 29, 2019
13. Site Details – C3	January 29, 2019

MAP 113 LOT 84 - \_\_\_\_\_ - \_\_\_\_\_

Date Received \_\_\_\_\_

Application Fee: \$275.00

Public Hearing Fee: \$150.00

Cert. Mailing: \$15.00/ 6 Abutter = \$90.00

Cash/Check # \_\_\_\_\_

## APPLICATION FOR SITE PLAN REVIEW

**Project Location** 100 Mt. Battie Street

Property Owner Cranesport, LLC Phone # (781) 849-3388

Mailing Address 100 Mt. Battie Street State ME Zip 04843

Email mullins01@gmail.com

Contractor/Applicant Gartley & Dorsky Engineering & Surveying Inc. (Agent) Phone # (207) 236-4365

Mailing Address 59 Union Street, Unit 1, P.O. Box 1031, Camden State ME Zip 04843

Zone B-R Size of Project Area 1.08 acre(s) \_\_\_\_\_ ft<sup>2</sup>

### Project Description:

The owner proposes to make changes to the existing site layout, providing better parking alternatives and access to the overhead doors.

### Article XII, Site Plan Review Applicability – Check one.

- ☐ New non-residential or multifamily building(s) including accessory structures, having a total area for all floors of more than 1,000 ft<sup>2</sup>. Includes placement of non-temporary accessory storage containers
- ☐ Enlargement of non-residential or multifamily buildings(s), including accessory buildings that exceed more than 1,000 ft<sup>2</sup> in a 5 year period.
- ☒ Proposals to pave, strip, remove earth materials from, grade more than 10,000 ft<sup>2</sup> within a 5 year period. *Not required for approved subdivisions and public infrastructure.*
- ☐ Pave, strip, and remove earth materials from, grade more than 40,000 ft<sup>2</sup> within a 5 year period for residential uses. *The Planning Board shall only consider Section 6, Approval Criteria, (1), (2) and (5) during review*
- ☐ Change from residential use to non-residential use of more than 1,000 ft<sup>2</sup> non-residential floor area
- ☐ Construct, enlarge, or extend piers, wharves, bulkheads, breakwaters, consolidated piers, causeways, marinas, bridges over 20' long, and uses projecting into water bodies.  
Review by Harbor Committee also required.
- ☐ Construct new Wireless Telecommunications Facility or expand an existing wireless facility that increases the height of the facility by more than 20 feet.  
Review according to the Wireless Telecommunications Facility Siting Ordinance also required.
- ☐ Proposals requiring review that include two or more of the following types of exterior renovations to a non-residential or multi-family building within a 2 year period, in the B-1, B-TH or B-TR zones
  - Façade
  - Roof
  - Exterior lighting
  - Siding
  - Awnings
  - Historic or architectural details

The Applicant should review Article XII Site Plan Review before submitting a formal application.

**Article XII: Section 2 – Procedures**

- Pre-Application Conference: Section 8 provides for a Pre-Application Conference with the Planning Board. An applicant should inform the Code Enforcement Officer as far in advance of filing the formal Application as practical to schedule a Pre-Application Conference.
- A formal Application must be submitted to the Code Enforcement Officer along with all submissions required at Sections 3 and 4, at least 1 days prior to a meeting of the Planning Board. The Board currently meets on the 1<sup>st</sup> and 3<sup>rd</sup> Thursdays of the month. The Application and supporting materials should be submitted by the Wednesday two weeks prior to the meeting at which the Application will be placed on the Agenda.
- The Planning Board may modify or waive any of the submission requirements specified in Section 3, Site Plan Content, or Section 4, Supplemental Information. Requests for waivers are to be submitted in writing as part of the Application, and should be specific as to the submission item and the reason the request is being made.
- At the first meeting, the Application will be reviewed against the submissions required under Sections 3 and 4
  - During their review of Articles 3 and 4 the Board may determine that they will need the assistance of an expert to assist them in their review. Applicants should be aware that this may extend the time to approval, and that they may incur additional costs to cover related expenses.

*I certify that the information contained in this application is true and correct.*

\_\_\_\_\_  
Signature of Property Owner\_\_\_\_\_  
Date  
Signature of Applicant (if different)

AGENT

\_\_\_\_\_  
Date

11-30-21

Number of copies submitted \_\_\_\_\_

Digital Copy of Plan – Yes ☐ No ☐**Sign offs required**☐ Police Dept☐ Public Works☐ Fire Dept☐ Wastewater Dept☐ Solid Waste☐ Tree Warden☐ Conservation Commission☐ Copies 1 – 7 (Planning Board)☐ Copy 8 (Master File)☐ Copy 9 (Code Enforcement Officer)\_\_\_\_\_  
Code Enforcement Officer\_\_\_\_\_  
Date**CEO Review for Completeness**

Map: 113 Lot: 84 Zone: B-R

Permit#: \_\_\_\_\_

Issued: \_\_\_\_ - \_\_\_\_ - \_\_\_\_

Cash/Check# \_\_\_\_\_

\$25.00 Fee per sign: # signs 2

Total Fee: \$50.00



**TOWN OF CAMDEN  
APPLICATION FOR SIGN PERMIT  
ALL BUSINESS DISTRICTS:**

**DOWNTOWN (B-1), HIGHWAY (B-2), BUSINESS TRANSITION (B-3),  
NEIGHBORHOOD SERVICE (B-4), HARBOR (B-H), RIVER (B-R), TRANSITIONAL  
HARBOR (B-TH), TRANSITIONAL RIVER (B-TR) & I (INDUSTRIAL)**

Name of Business: Cranesport Garage

Applicant: Cranesport, LLC Telephone: 781 - 849 - 3388

Address: 100 Mt. Battie Street Email: mullins01@gmail.com

Property Owner: Cranesport, LLC Telephone: 781 - 849 - 3388

Business Location: 100 Mt. Battie Street

Do you have an approved Use Permit for this business? ☒ Yes ☐ No ☐ Application pending

*All applications must be accompanied by colored pictures of the design showing all dimensions.  
See designs attached.*

1) **ILLUMINATED OPEN SIGN:** Businesses are allowed to display one (1) internally illuminated "Open" sign with a maximum size of two (2) square feet in a window visible from the street with a permit from the Code Officer. Any permitted "Open" sign shall not advertise or contain a logo of any product or company. The intensity of light from any illuminated sign visible from the exterior of the business shall remain constant in color, location, and brightness.

Size: \_\_\_\_\_' x \_\_\_\_\_' (attach design): Location: \_\_\_\_\_

2) **SECOND THOROUGH SIGN:** One additional sign of the type otherwise permitted in the District is allowed if the building fronts upon more than one thoroughfare (including the harbor).

3) **ENTRANCE and EXIT SIGNS:** In addition to signs otherwise permitted, two signs not to exceed two square feet each in sign area can be installed to designate an entrance or exit to a parking lot.

***A business situated on its own, individual lot may have no more than three signs in any combination of the approved types listed below:***

**FREESTANDING SIGNS:** One sign with a maximum height of 9 feet measured from the ground to top of the highest support or top of sign, with a maximum sign area of 16 square feet. Freestanding Signs must be located on the lot where the business is located outside of the public Right-of-Way (including public sidewalks). In issuing this permit the CEO shall consider pedestrian and vehicle safety. Design

submissions for Freestanding Signs must include all dimensions of the supporting structure in addition to the dimensions of the sign itself.

ON-BUILDING SIGNS: One sign identifying the name of the business conducted on the premises and limited additional information which explains the nature of the business or profession. *See Options below.*

CANOPY SIGNS AND PROJECTING SIGNS: One sign with a maximum sign area of 12 square feet, *except that such signs that overhang a public right-of-way shall have a maximum sign area of six square feet and a minimum vertical clearance of 10 feet.*

Qty: 1 1' tall ' x 7' wide Sign (attach design) Type and Location: Ground mounted sign in entrance island

Qty: \_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design) Type and Location: \_\_\_\_\_

Qty: \_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design) Type and Location: \_\_\_\_\_

***Businesses sharing a building may each have no more than two of the following signs in any combination:***

ON-BUILDING SIGNS: One sign identifying the name of the business conducted on the premises and limited additional information which explains the nature of the business or profession. *See Options below.*

CANOPY SIGNS AND/OR PROJECTING SIGNS: One sign with a maximum sign area of 12 square feet, *except that such signs that overhang a public right-of-way shall have a maximum sign area of six square feet and a minimum vertical clearance of 10 feet.*

Qty: \_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design) Type and Location: \_\_\_\_\_

Qty: \_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design) Type and Location: \_\_\_\_\_

***Businesses sharing a building may also have a Consolidated Sign:***

One Consolidated Sign mounted on the shared building no greater in size than the square footage equivalent to the linear footage of the building front. Maximum sign area (cumulative) for an on-building Consolidated Sign is 100SF, except in the B-3 where the maximum sign area is 16SF.

*or*

One ladder-style (freestanding) Consolidated Sign with a maximum height of 9 feet measured from the ground to top of the highest support or top of sign, with a maximum sign area of 16 square feet.

One half of the linear footage of building frontage: 42 '; Sign: 6 ' x 4 ' = 24 SF

Type and Location: Building mounted sign, on northeast side of building.

Attach design showing dimensions, including those of any supporting structure.

***Businesses sharing a building, when the business is located at street level with a separate street level entrance, may also have:***

FREESTANDING *or* BLACKBOARD SIGN: One sign located on the lot outside of the public Right-of-Way (including public sidewalks). In issuing this permit the CEO shall consider pedestrian and vehicle safety. Design submissions for Freestanding and Blackboard Signs must include all dimensions of the supporting structure in addition to the dimensions of the sign itself.

a) In the Downtown (B-1), Transitional Harbor (B-TH), and Transitional River (B-TR) Business Districts: One Freestanding or Blackboard Sign up to 17" x 28":

Sign \_\_\_\_\_ " x \_\_\_\_\_ " Sign Frame and/or Supports \_\_\_\_\_ ' x \_\_\_\_\_ '

(Attach design including dimensions): Type and Location: \_\_\_\_\_

- b) Highway (B-2), Business Transition (B-3) and Neighborhood Service Business Districts: One Freestanding or Blackboard Sign up to 24" x 36":

Sign \_\_\_\_\_" x \_\_\_\_\_": Sign Frame and/or Supports \_\_\_\_\_' x \_\_\_\_\_' (attach design including dimensions of sign and of supporting structure): Type and Location: \_\_\_\_\_

### INDUSTRIAL (I) DISTRICT

One (1) On-premise Sign (of any type listed for other Business Districts) identifying the business with a maximum area of 30 SF.

\_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design): Type and Location: \_\_\_\_\_

### ON-BUILDING SIGN OPTIONS:

**One sign identifying the name of the business and limited additional information to explain the nature of the business or profession.**

16" high (maximum) letters in one row

Name of business in 12" high (maximum) letters in 1<sup>st</sup> row  
Additional information in 6" high (maximum) letters in 2<sup>nd</sup> row

Measure linear frontage of building: Maximum SF of the sign is equal to  $\frac{1}{2}$  of the frontage.  
Example: Frontage =  $60' \div 2 = 30' = 30$  SF sign. Options for signs - 5'x6'; 3'x10'; or 2'x10'.  
No restrictions to letter size.

### TRADESMAN SHOP

In all Districts where Tradesman Shops are a permitted use, sign standards for that District apply.

One (1) On-building Sign and One (1) Freestanding Sign with a *maximum combined* sign area of 16SF.

\_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design): Type and Location: \_\_\_\_\_

\_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design): Type and Location: \_\_\_\_\_

### HOME OCCUPATIONS

Properties with more than one Home Occupation shall be required to place all information on one sign.  
Home Occupations require a Home Occupation Permit from the Town.

In Business Districts where Home Occupations are a permitted use, sign standards for that District apply.

\_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design): Type and Location: \_\_\_\_\_

**REPLACEMENTS FOR NONCONFORMING SIGNS IN EXISTENCE PRIOR TO NOVEMBER 4, 1992**

**Any Nonconforming Sign which has been discontinued for a period of 24 consecutive months may not be resumed at the nonconforming size or in the nonconforming location.**

Current Sign Size: \_\_\_\_\_ ' x \_\_\_\_\_ ' (attach design): Type and Location: \_\_\_\_\_

Replacement Sign Size: Any replacement sign must either comply with the standards of the District where the current sign is located, or be no larger than 75% of square footage of the current sign.

\_\_\_\_\_ ' x \_\_\_\_\_ ' Sign (attach design): Type and Location: \_\_\_\_\_

*I certify that all information contained in this application is true and accurate. I understand that providing misinformation will be grounds for revocation of this permit and will be considered a violation of the Ordinance.*

 \_\_\_\_\_  
Signature of Applicant

AGENT

11-30-21  
Date

\_\_\_ APPROVED \_\_\_ DENIED:

REASON:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Code Enforcement Officer

\_\_\_\_\_  
Date



A) New Directory Sign

B) New Monument Sign



B) Monument sign for landscape island on Mt. Battie Street. 1 foot tall by 7 feet long.

Carved wood with paint mounted on 4x4 posts. Approximately 18" off the ground and 28" total height.

- A) New Building Directory Incorporating Existing Yachting Solutions Sign. 4 feet wide by 6 feet tall
- B) Vinyl Lettering on Composite Foam Board



December 1, 2021

Planning Board  
Town of Camden  
29 Elm Street  
Camden, ME 04843

**Cranesport, LLC: Site Plan Review Application**  
Project 2014-399

Dear Members of the Board:

Gartley & Dorsky Engineering & Surveying, Inc. submits this letter to the Town of Camden for Cranepsport, LLC, owner of the property at 100 Mt. Battie Street. The owner proposes to make changes to the existing site layout, providing better parking alternatives and access to the overhead doors. Planning Board review is required because the proposal seeks to regrade more than 10,000 square-feet of area.

The Rights, Title and Interest of the property are summarized as follows:

Owner: Cranepsport, LLC  
Subject Parcel: Map 113, Lot 84 (Tax Map attached)  
Deed: Book 4846, Page 246 (Deed attached)  
Zone: B-R (River Business District)

The following information is provided in support of Article XII Section 3 and 4 of the Zoning Ordinance for the Town of Camden (November 16, 2021 edition):

**Article XII Site Plan Review**

**Section 3: Site Plan Content**

When the owner of the property or his authorized agent makes formal application for site plan review, his application shall contain at least the following exhibits and information:

- (a) Owner's name and address  
***The owner, Cranepsport, LLC, 100 Mt. Battie Street, Camden, ME 04843, is identified in the plan notes on Sheet C1.***
- (b) Names and addresses of all abutting property owners.  
***Abutters as identified in the Camden tax rolls are identified on Sheet C1 and the attached abutters map.***
- (c) Sketch map showing general location of the site within the Town.  
***Enclosed with this submission is a copy of the Camden Tax Map identifying the property.***
- (d) Boundaries of all contiguous property under control o the owner or applicant regardless of whether all or part is being developed at this time.  
***The subject parcel is the extent of the contiguous land under control of the owner.***

- (e) Zoning classification(s) of the property lines of the property to be developed and the source of this information.  
***The property is zoned B-R according to the Camden Zoning Map. This information is noted on Sheet C1.***
- (f) The bearing and distances of all property lines of the property to be developed and the source of this information. The Board may require a formal boundary survey when sufficient information is not available to establish on the ground, all property boundaries.  
***The boundary information, derived from a boundary survey, is depicted on the Site Plan, Sheet C1.***
- (g) The location of all building setbacks required by this ordinance.  
***There are no front, side or rear yard setbacks in the River Business Zone.***
- (h) The location, dimensions, front view, and ground floor elevations of all existing and proposed buildings in the site.  
***The location and dimensions of the existing building are depicted on Sheet C1. The applicant is proposing to raise a  $\pm 16'$  x  $\pm 83'$  existing clerestory on the existing building by 2', in a location depicted on the Site Plan.***
- (i) The location and dimensions of driveways, parking and loading areas, and walkways.  
***The location and dimension of the proposed parking expansion is depicted on Sheet C1.***
- (j) Location of intersecting roads or driveways within 200 feet of the site.  
***See Sheet C1 and Abutters Map for location of intersection roads and driveways within 200' of the site.***
- (k) The location and dimensions of all provisions for water supply and wastewater disposal.  
***The location and dimensions of all water and wastewater services are depicted on Sheet C1. There are no proposed utility changes.***
- (l) The location of open drainage courses, wetlands, stands of trees, and other important natural features, with a description of such features to be retained and of any new landscaping planned.  
***All applicable natural features are annotated on Sheet C1 and a recent aerial image.***
- (m) Location and dimensions of any existing easements and copies of existing covenants or deed restrictions.  
***There are no known easement, covenants or deed restrictions on the subject parcel.***
- (n) Location, front view, and dimensions of existing and proposed signs.  
***Two new signs are proposed. One ground mounted sign in the entrance island, as shown on Sheet C1, and one building mounted sign. See sign permit application for additional information.***
- (o) Location and type of exterior lighting.  
***There are no proposed changes to the existing lighting.***
- (p) Copies of applicable State and Federal approvals and permits, provided, however, that the Board may approve site plans subject to the issuance of specified State and Federal approvals and

permits where it determines that it is not feasible for the applicant to obtain them at the time of site plan review.

***Not applicable. There are no applicable State or Federal permits required for the proposed project.***

- (q) A signature block on the site plan, including space to record a reference to the order by which the plan is approved.  
***A signature block is provided on Sheet C1.***

#### Section 4: Supplemental Information

The Planning Board may require any or all of the following submissions where it determines that due to the scale, nature of the proposed development or relationship to surrounding properties, such information is necessary to assure compliance with the intent and purposes of this Ordinance.

- (1) Existing and proposed topography of the site at two-foot contour intervals, or such other interval as the Board may determine, prepared and sealed by a surveyor licensed in the State of Maine.  
***Existing and proposed topography is annotated on Sheet C1.***
- (2) A storm water drainage and erosion control plan prepared by an engineer or landscape architect registered in the State of Maine, showing:
  - (a) The existing and proposed method of handling storm water runoff.
  - (b) The direction of flow of the runoff through the use of arrows.
  - (c) The location, elevation, and size of all catch basins, dry wells, drainage ditches, swales, retention basins, and storm sewers.
  - (d) Engineering calculations used to determine drainage requirements based upon a 25-year storm frequency, if the project will significantly alter the existing drainage pattern due to such factors as the amount of new impervious surface (such as paving and building area) being proposed.
  - (e) Methods of controlling erosion and sedimentation during and after construction.

***The proposed project will not significantly alter the existing drainage patterns. Existing stormwater structures are depicted on Sheet C1. Erosion and sedimentation control measures are annotated on Sheet C2. See attached Stormwater Management Summary.***

- (3) A utility plan showing, in addition to provisions for water supply and wastewater disposal, the location and nature of electrical, telephone, and any other utility services to be installed on the site.  
***Not applicable. There are no proposed changes to the existing utilities. Existing utilities are depicted on Sheet C1.***

- (4) Sufficient Technical Capacity:  
***See attached capability statement for Gartley & Dorsky Engineering & Surveying, Inc (G&D). Local qualified contractors will be utilized and overseen by Michael Mullins and G&D.***
- (5) A planting schedule keyed to the site plan and indicating the varieties and sizes of trees, shrubs, and other plants to be planted.  
***Proposed landscaping is shown on Sheet C1.***
- (6) In addition to items (a), (c), (d), (l), (m), (o) and (q) in Section 3, applications for Piers, Wharves, Breakwaters and Boat Ramps shall include: *See (a) – (f) in Ordinance.*  
***Not applicable. There are no proposed piers, wharves, breakwaters or boat ramps.***
- (7) In addition to the submission requirements above, applications for exterior renovations in the downtown as required in Section 1, (8), shall include the following, if applicable: *See (a) – (e) in Ordinance.*  
***Not applicable.***

Included with this letter are nine (9) copies of the letter and attachments. We look forward to presenting the application at the board's convenience.

Sincerely,

**Gartley & Dorsky Engineering & Surveying Inc.**



William B. Gartley, P.E.  
President

MICHAEL MULLINS – MT. BATTIE WAREHOUSE  
Stormwater Management Summary  
December 4, 2018

Cranesport, LLC, owner of the property at 100 Mt. Battie Street in Camden, Maine (Tax Map 113, Lot 84), is proposing to make changes to the existing site layout. The proposed changes will provide better parking alternatives and access to the overhead doors. The development includes an increase in impervious area of approximately 6,055 square-feet.

Stormwater from the existing developed area travels directly into catch basins within the Mt. Battie Street drainage system, then outlets onto the adjacent property and later into Megunticook River. The proposed stormwater system will maintain the existing drainage pattern. An additional catch basin and storm drain will be added and connect into the existing system to collect the runoff from a majority of the new impervious area. All stormwater leaving the site will continue to be collected and discharged to forested swale prior to draining into Megunticook River. The stormwater management system will minimally increase the peak stormwater runoff for the 2, 10, and 25-year storm events. The drainage system will increase the flows of the 2-year storm event by 15%, the 10-year storm event by 12% and the 25-year storm event by 2%.

The outlet of the existing catch basin system is a 15" hdpe pipe. The 15" outlet pipe has a capacity of 15.93 cfs, using the assumed slope of  $\pm 5\%$  and ignoring the entrance loss. The capacity of the outlet pipe exceeds the anticipated peak stormwater runoff from a 25-year storm event by nearly 300%. See stormwater summary table below for additional information.

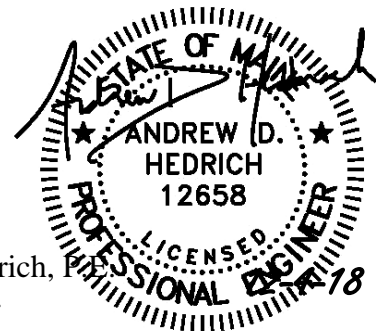
Study Point 1 Summary			
Storm Event	Pre-Development	Post-Development	Change in Flow
2-Year	2.53 cfs	2.90 cfs	0.37 cfs
10-Year	4.12 cfs	4.61 cfs	0.49 cfs
25-Year	5.31 cfs	5.43 cfs	0.12 cfs

We will provide the HydroCAD outputs for the pre and post conditions upon request. Please let me know if you have any questions, or would like additional information.

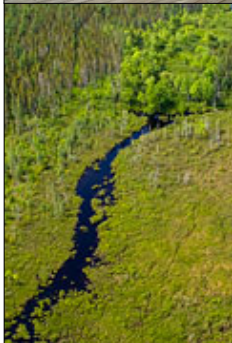
Sincerely,  
**Gartley & Dorsky Engineering & Surveying, Inc.**



Alyssa D. Gartley, E.I.  
Design Engineer



Andrew D. Hedrich, P.E.  
Senior Engineer



## **Firm Overview**

Gartley & Dorsky is an engineering and surveying firm serving residents, municipalities, institutions, and businesses of Maine from our offices in Camden and Damariscotta. We provide civil and structural engineering, surveying, permitting and soils and wetland science services for large and small projects across the state. From the small (residential additions and septic designs) to the large (ALTA surveys and full-service site planning on subdivisions and commercial developments) we strive to provide each client with the same great service and cost-effective solutions. Additional information on our firm and services can be found on our website at [www.gartleydorsky.com](http://www.gartleydorsky.com).

## **Surveying**

*Boundary Surveys and Research  
Topographic/As-built Surveys  
ALTA/ACSM Land Title Surveys  
Subdivisions*

*Condominium Plats and Plans  
Elevation Certificates/LOMAs  
Hydrographic Surveys  
Construction Layout*

## **Civil Engineering**

*Roadway Design  
Hydrologic Analysis and Design  
Watershed Flood Studies  
Subdivisions*

*Land Development  
Engineered Sanitary Design  
Site Planning  
Shoreline Stabilization*

## **Structural Engineering**

*Structural Analysis & Design  
Building Inspections  
Construction Field Assistance  
Pier and Wharf Design*

*New Construction & Renovations  
Historic Structures  
Conditions Assessments  
Structural Detailing*

## **Natural Resource & Soil Services**

*Soils Surveys & Mapping  
Vernal Pool Identification  
Engineered Septic Systems*

*Site Evaluation  
Wetland Delineation  
Conventional Septic Systems*

## **Permitting**

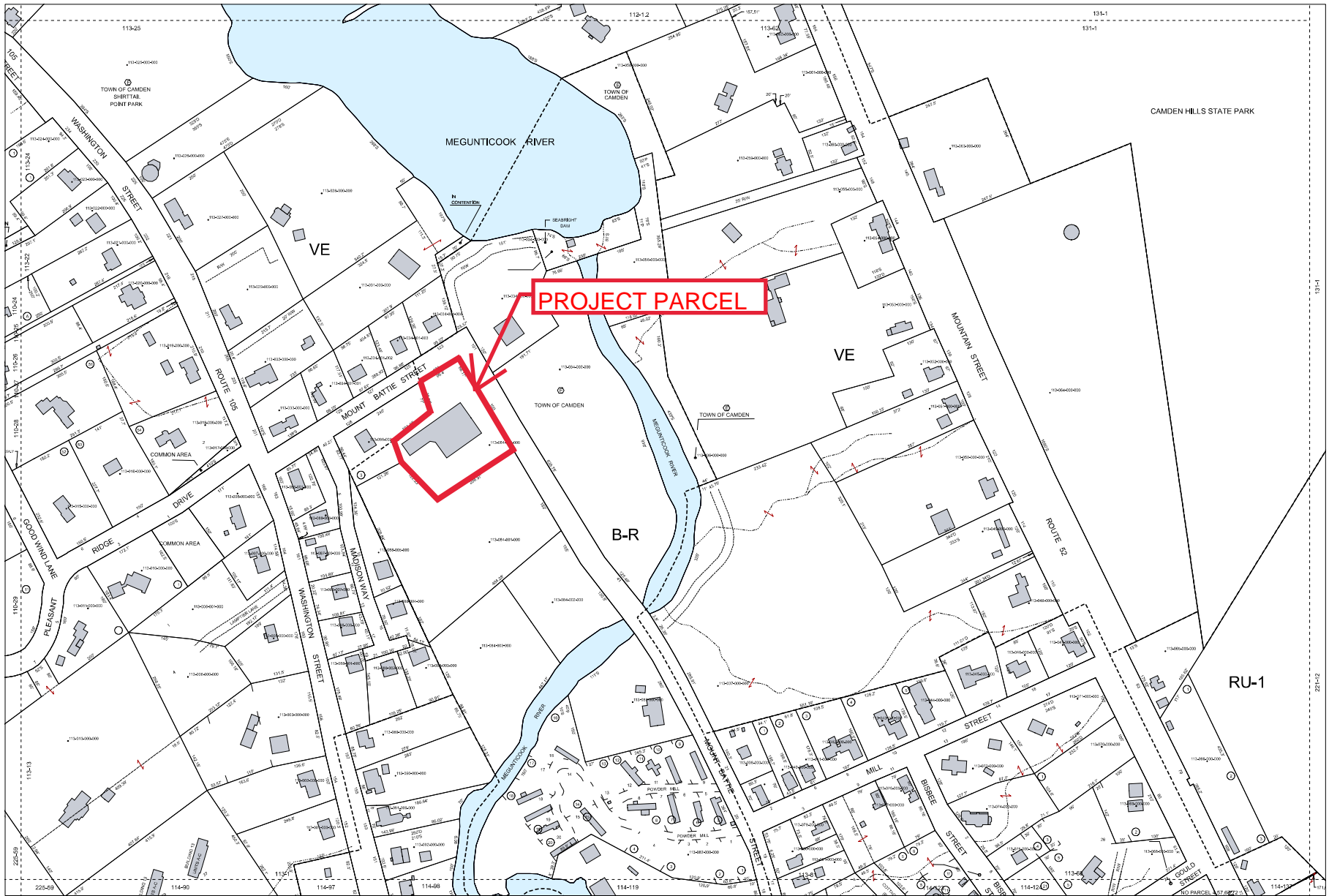
*Natural Resource Protection Act Permits  
Maine DEP Stormwater Permits  
Subdivision Planning Approvals*

*Army Corps of Engineers Permits  
Maine DEP Site Location Permits  
Municipal Coordination*

## **Staff**

Gartley & Dorsky has 15 licensed professionals:

- 7 Professional Engineers
  - 7 Professional Land Surveyors
  - 1 Licensed Site Evaluator/Certified Soil Scientist/Certified Wetland Scientist
- Plus additional support staff including permitting specialists, CADD engineering technicians, field survey crew, design engineers and administrative support.



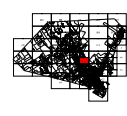
**NOTICE**  
This map is for assessment purposes only, and is not valid for legal description or conveyance.

The Horizontal Datum is the Maine State Plane Coordinate System, East Zone, NAD83 Feet.  
Original data produced in 1990 by Cartographics Associates, Inc.  
Photography Date: April 15, 1994

LEGEND	
Area Surveyed.....	Ac
Area Calculated.....	AcC
Record Dimension.....	100'
Scaled Dimension.....	100'S
Match Line.....	- - - - -
Water.....	~~~~~
Exempt Property.....	E
Subdivision Lot No.....	10
Building.....	11
Right of Way.....	12
Deed Line.....	13
Wetlands.....	14



107	108	111
109	112	221
110	113	
225	114	121
	115	120



TOWN OF  
**CAMDEN**  
MAINE

**MAP**  
**113**

Printed: 10/29/2020

**STATUTORY WARRANTY DEED**  
(Maine Statutory Short Form)

CAMDEN OFFICE, LLC, a Maine Limited Liability Company with a place of business in the Town of Windham, County of Cumberland and State of Maine

For Consideration Paid, GRANTS with WARRANTY COVENANTS TO:

CRANESPORT, LLC, with a mailing address of 31 St. James Avenue, Suite 940, Boston, Massachusetts 02116

A certain lot or parcel of land with any improvements thereon, situated in in the Town of Camden, Knox County, State of Maine, and being more particularly described as set forth on EXHIBIT A, attached hereto and incorporated herein by reference.

Being the same premises conveyed to the within Grantor By Receiver's Deed of Gray & Associates, LLC, Receiver for 100 Mt. Battie Street, LLC, dated November 9, 2010 and recorded in the Knox County Registry of Deeds in Book 4319, Page 27.

**IN WITNESS WHEREOF**, Camden Office, LLC has caused this instrument to be signed and sealed by Ronald S. Smith, its Sole Member, thereunto duly authorized, this 3<sup>rd</sup> day of October, 2014.

SIGNED, SEALED AND DELIVERED  
IN PRESENCE OF:


CAMDEN OFFICE, LLC

  
\_\_\_\_\_

By   
\_\_\_\_\_  
Ronald S. Smith  
Its Sole Member


THE STATE OF MAINE      Cumberland, ss.      October 3, 2014

Then personally appeared the above-named Ronald S. Smith, of Camden Office, LLC, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said company.

  
\_\_\_\_\_  
Attorney at Law  
Alan E. Wolf #3453

REAL ESTATE TRANSFER TAX PAID

VOL 4846 PG 246  
10/09/2014 02:51:03 PM  
4 Pages

Receipt # 77169 KNOX SS: RECEIVED  
  
Instr # 2014-9969  
ATTEST: Lisa J. Simmons, Knox County Registry of Deeds

## **Exhibit A**

### **100 Mt. Battie Street, Camden**

A certain lot or parcel of land, together with the buildings and improvements thereon, situated on the westerly and southerly sides of Mt. Battie Street and approximately 160 feet easterly of Washington Street in the Town of Camden, Knox County, State of Maine, bounded and described as follows:

BEGINNING at a 5/8 inch rebar proposed at the southeast corner of the parcel described herein on the apparent westerly right-of-way line of Mt. Battie Street. Said point of beginning being S 13° 46' 09" E a distance of 187.52 feet from a 5/8 inch rebar capped "COFFIN ENG" at the southeast corner of land of Bracebridge Corporation as described in a deed recorded in Book 1971, Page 224 of the Knox County Registry of Deeds.

THENCE S 76° 13' 51" W along land of Jeffrey and Robin Brawn as described in a deed recorded in Book 3316, Page 129 of the Knox County Registry of Deeds a distance of 208.97 feet to a 5/8 inch rebar proposed.

THENCE N 22° 43' 01" W along said land of Jeffrey and Robin Brawn a distance of 122.23 feet to a 5/8 inch rebar proposed.

THENCE S 75° 11' 23" W along said land of Jeffrey and Robin Brawn a distance of 121.26 feet to a 5/8 inch rebar proposed on the easterly property line of land now or formerly of Camden Affordable Housing as described in a deed recorded in Book 2317, Page 6 of the Knox County Registry of Deeds.

THENCE N 08° 12' 14" W along said land of Camden Affordable Housing and along the easterly right-of-way line of Madison Way a distance of 134.22 feet to a 5/8 inch rebar found on the apparent southerly right-of-way line of Mt. Battie Street.

THENCE N 75° 55' 55" E along said apparent southerly right-of-way line of Mt. Battie Street a distance of 236.83 feet to a 7/8 inch iron rod found.

THENCE N 74° 32' 53" E along said apparent southerly right-of-way line of Mt. Battie Street a distance of 99.42 feet to a 6 x 6 granite monument found at a corner in said right-of-way line of Mt. Battie Street.

THENCE S 13° 46' 09" E along said apparent westerly right-of-way line of Mt. Battie Street a distance of 68.76 feet to a 5/8 inch rebar capped "COFFIN ENG".

THENCE S 13° 46' 09" E along said apparent westerly right-of-way line of Mt. Battie Street a distance of 187.52 feet back to the point of beginning.

TOGETHER WITH a drainage easement over a portion of said land of Jeffrey and Robin Brawn as described in a deed recorded in Book 3316, Page 129 of the Knox County Registry of Deeds. Said drainage easement being more particularly described as follows:

Excluding Lot #2 of the Mt. Battie Street Subdivision as conveyed to the Camden Area Christian Food Pantry by Short Form Quitclaim Deed dated May 15, 2007, which deed is recorded in the Knox County Registry of Deeds at Book 3797, page 130, and subject to the easements set forth therein.

MEANING AND INTENDING to describe herein a portion of the premises conveyed by warranty deed of Bracebridge Corporation to 100 Mt. Battie Street, LLC, dated December 20, 2005, and recorded at the Knox County Registry of Deeds in Book 3552, Page 115.

SUBJECT TO:

Rights of others in and to the use of appurtenant easements and terms and conditions relative to the use thereof.

All matters shown on or referred to in the Plans or any other matter a survey might reveal.

All matters disclosed and appearing on a Plan entitled "Bracebridge Corporation, Proposed Conveyance" dated October 17, 2005, by Gartley & Dorsky Engineering & Surveying.

All matters disclosed and appearing on the Final Subdivision Plan, Mt. Battie Street, LLC, Mt. Battie Street Subdivision, Camden, Maine by Gartley & Dorsky Engineering & Surveying dated November 1, 2007 and recorded in Cabinet 18, Sheet 123 of the Knox County Registry of Deeds.

Applicable land use, zoning and building ordinances, statutes, laws and regulations.

Subject to real estate taxes not yet due and payable.

BEGINNING at a 5/8 inch rebar proposed at the southeast corner of the parcel described above on the apparent westerly right-of-way line of Mt. Battie Street. Said point of beginning being S 13° 46' 09" E a distance of 187.52 feet from a 5/8 inch rebar capped "COFFIN ENG" at the southeast corner of other land of Bracebridge Corporation as described in a deed recorded in Book 1971, Page 224 of the Knox County Registry of Deeds.

THENCE S 13° 46' 09" E along said apparent westerly right-of-way line of Mt. Battle Street a distance of 100.00 feet.

THENCE N 58° 46' 09" W a distance of 42.43 feet.

THENCE N 13° 46' 09" W a distance of 70.00 feet to the southerly line of the parcel described above.

THENCE N 76° 13' 51" E along said parcel described above a distance of 30.00 feet back to the point of beginning.

SUBJECT to a 30 foot wide sewer easement granted to the Town of Camden in a deed recorded in Book 2729, Page 203 of the Knox County Registry of Deeds which sewer easement is more particularly described as follows:

BEGINNING at a point on the southerly line of the parcel described herein. Said point of beginning being N 75° 11' 23" E a distance of 33.71 feet from a 5/8 inch rebar proposed at the southwest corner of the parcel described above.

THENCE N 27° 17' 57" E a distance of 177.33 feet to the apparent southerly right-of-way line of Mt. Battie Street.

THENCE N 75° 55' 55" E along said apparent southerly right-of-way line of Mt. Battie Street a distance of 39.97 feet.

THENCE S 27° 17' 57" W a distance of 176.63 feet to said land of Jeffrey and Robin Brawn.

THENCE S 75° 11' 3" W along said land of Jeffrey and Robin Brawn a distance of 40.44 feet back to the point of beginning.

All directions are referenced to Magnetic North 1994 derived from a bearing taken with a hand compass. All 5/8 inch rebar set are marked with a plastic surveyor's cap stamped "DORSKY PLS 2290".

ALSO CONVEYING the right to enforce restrictive covenants as described in the deed from Bracebridge Corporation to MBNA Marketing Systems, Inc., dated January 7, 1999, and recorded in the Knox County Registry of Deeds in Book 2317, Page 1, and further described in a deed from MBNA Marketing Systems, Inc. to Camden Affordable Housing Organization described in Book 2317, Page 5, subject to an Amendment to such restrictive covenants as described in Book 2428, Page 41.



PICTURE 1 – EXISTING ACCESS DRIVE/PARKING AREA  
DATE: 10/19/2018



PICTURE 2 – EXISTING ACCESS DRIVE  
DATE: 10/19/2018



PICTURE 3 – EXISTING PARKING AREA/BUILDING  
DATE: 10/19/2018




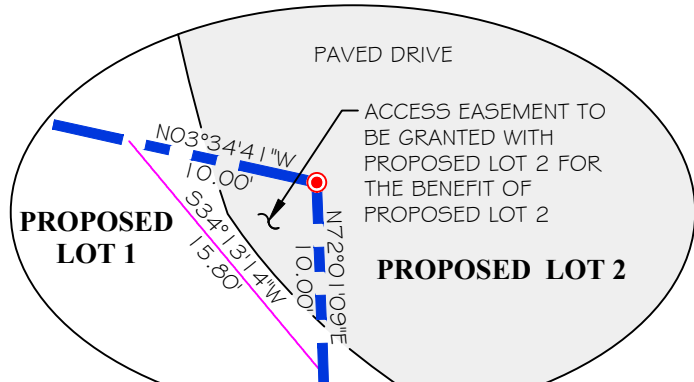
PICTURE 4 – EXISTING ISLAND  
DATE: 10/19/2018

H:\Land Projects\3\14399\Drawings\14399 Abutters Map.dwg

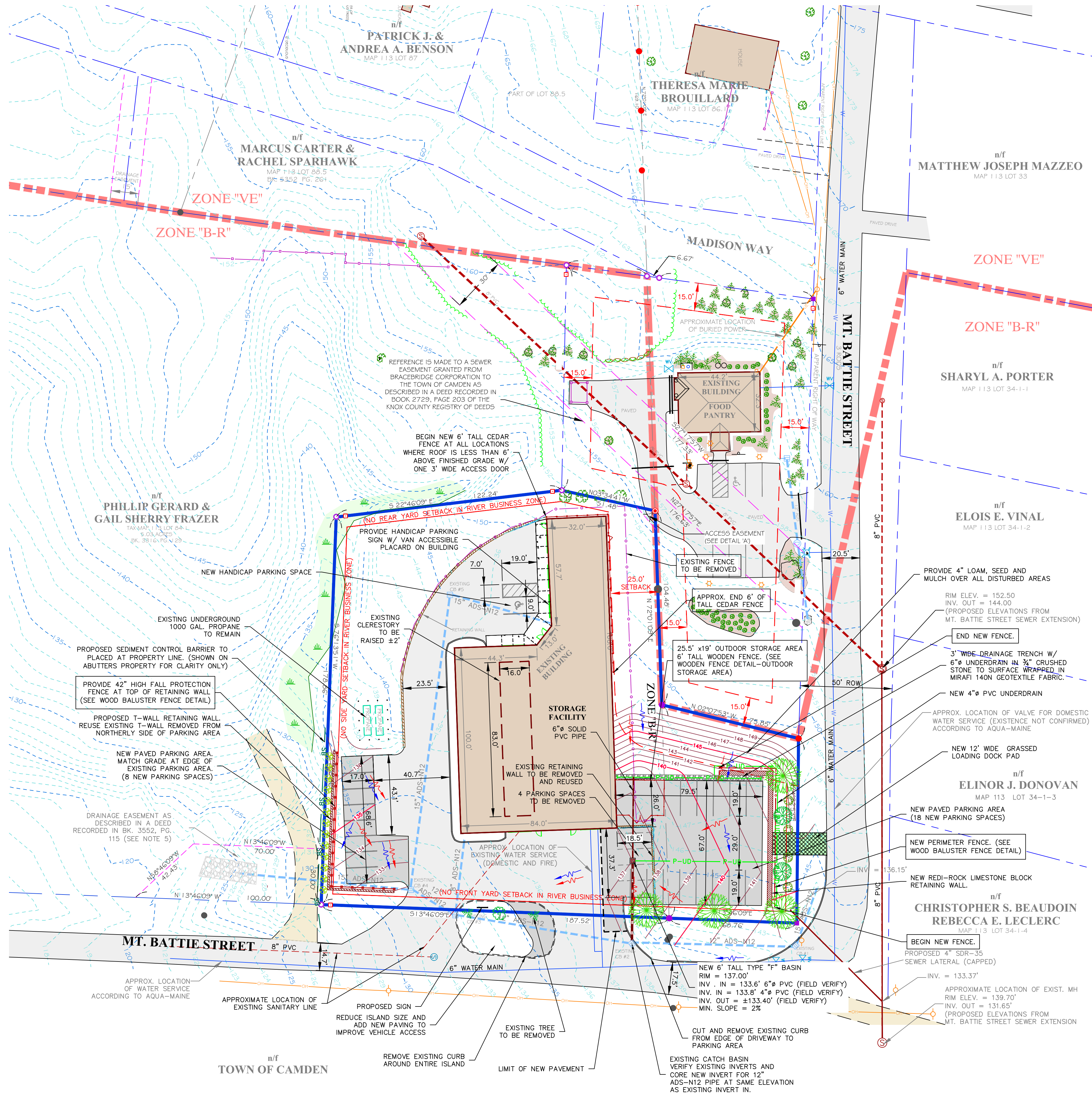
ABUTTING LAND OWNERS		
SYMBOL	OWNER	MAP - LOT
1	COASTAL MOUNTAINS LAND TRUST 101 MT. BATTIE STREET CAMDEN, ME 04843	MAP 113 – LOT 34
2	ELINOR J. DONOVAN P.O. BOX 845 CAMDEN, ME 04843	MAP 113 – LOT 34-1-3
3	CHRISTOPHER S. BEAUDOIN & REBECCA E. LECLERC 123 MT. BATTIE STREET CAMDEN, ME 04843	MAP 113 – LOT 34-1-4
4	TOWN OF CAMDEN P.O. BOX 1207 CAMDEN, ME 04843	MAP 113 – LOT 34-2
5	PHILIP GERARD & GAIL SHERRY FRAZER 96 MOUNT BATTIE STREET CAMDEN, ME 04843	MAP 113 – LOT 84-1
6	CAMDEN AREA CHRISTIAN FOOD PANTRY P.O. BOX 337 CAMDEN, ME 04843	MAP 113 – LOT 86-2



 <p><b>Gartley &amp; Dorsky</b> ENGINEERING SURVEYING CAMDEN, MAINE (207) 236-4365 DAMARISCOTTA, MAINE (207) 790-5005 WWW.GARTLEYDORSKY.COM</p>	<b>CRANESPORT, LLC</b> <b>100 MT. BATTIE STREET</b> CAMDEN, MAINE		
	DECEMBER 1, 2021		
	PROJ. NO. 2014-399		
ABUTTERS MAP			

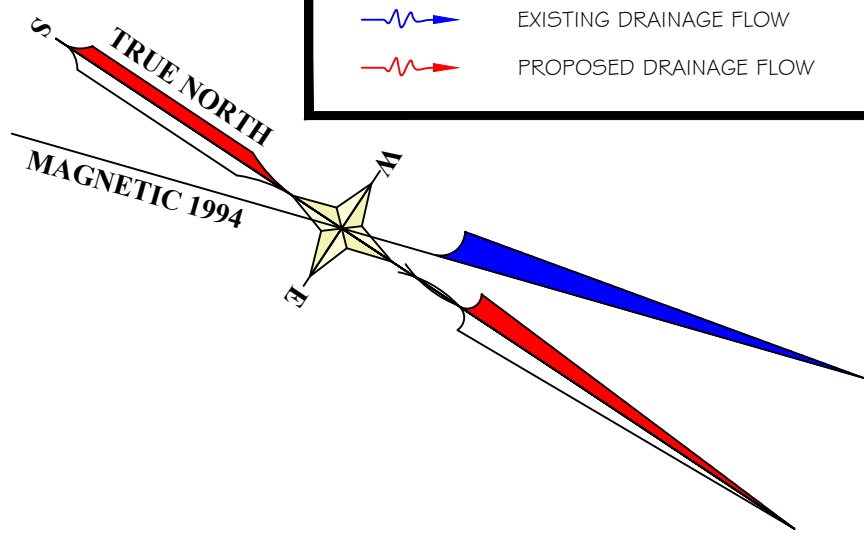


DETAIL 'A'



**LEGEND**

- IRON PIN FOUND
- 5/8" REBAR PROPOSED
- 6"x6" GRANITE MONUMENT FOUND
- 4"x4" GRANITE MONUMENT PROPOSED
- 5/8" REBAR SET IN 2002/2004
- UTILITY POLE
- EXISTING HYDRANT
- WATER VALVE
- SIGN POST
- WETLAND
- EASEMENT LINE
- APPROX. PROPERTY LINE
- PROPOSED PROPERTY LINE
- SURVEYED PROPERTY LINE
- SETBACK LINE
- ZONING DIVISION
- FENCE
- EXISTING UNDERGROUND ELEC & TELCOM
- EXISTING OVERHEAD UTILITY LINE
- STORM DRAIN PIPE
- CATCH BASIN
- STORM DRAIN MANHOLE
- SANITARY MANHOLE
- VILLAGE EXTENSION DISTRICT
- RIVER BUSINESS DISTRICT
- PROPOSED CONTOUR
- PROPOSED CATCH BASIN
- PROPOSED STORMWATER PIPE
- EXISTING DRAINAGE FLOW
- PROPOSED DRAINAGE FLOW



GENERAL SITE NOTES:

- LOT INFORMATION:  
PHYSICAL ADDRESS: 100 MT. BATTIE STREET  
TAX MAP: 113 LOT 84  
ZONING: RIVER BUSINESS DISTRICT  
LOT AREA: 1.08 ACRES (47,067 S.F.)  
DEED: BK. 4846 PG. 246  
MAX. ALLOWED LOT COVERAGE: 70% (32,947 S.F.)  
LOT COVERAGE (PROPOSED): 61.2% (28,820 S.F.)
- OWNER & APPLICANT:  
CRANESPORT, LLC  
100 MT. BATTIE STREET  
CAMDEN, ME. 04843
- ENGINEER & SURVEYOR:  
GARTLEY & DORSKY ENGINEERING & SURVEYING INC.  
59 UNION STREET UNIT 1, P.O. BOX 1031, CAMDEN, ME. 04843  
(207) 236-4365

EXISTING PARKING SPACES: 9 SPACES  
EXISTING SPACES TO REMAIN: 0 SPACES  
NEW PARKING SPACES: 23 SPACES  
TOTAL PARKING SPACES: 23 SPACES

APPROVED:  
CAMDEN PLANNING BOARD

PURSUANT TO TITLE 30-A, M.R.S.A. SECTIONS  
4401-4407

DATE: \_\_\_\_\_

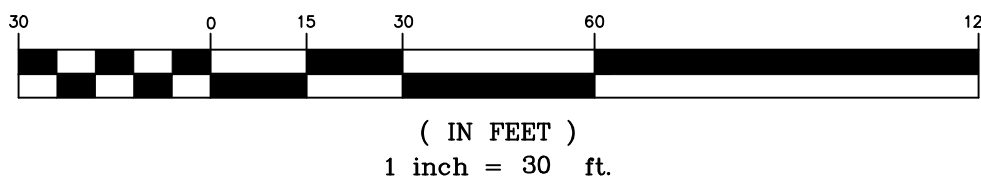
CHAIR \_\_\_\_\_

CONDITIONS \_\_\_\_\_

PLANTING SCHEDULE

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY
DECIDUOUS TREES				
	Populus deltoides	Eastern Cottonwood	2"/2.5" cal.	4
	Malus sargentii	Sargent Crabapple	6'/8'	2
SHRUBS				
	Clethra alnifolia	Summersweet	2 gal.	13
	Rhododendron 'PJM'	PJM Rhododendron	2.5'/3'	4

GRAPHIC SCALE



PLAN REFERENCES:

1. "Final Subdivision Plan, Mt. Battie Street, LLC, Mt. Battie Street Subdivisio, Camden, Maine" by Gartley & Dorsky Engineering & Surveying, Inc., Dated November 1, 2006.

SURVEYOR'S NOTES:

- All directions are referenced to Magnetic North 1994, derived from a bearing taken with a hand compass to the nearest 1/4 degree.
- Elevations are referenced to NGVD 1929.

SHEET TITLE: **SITE PLAN**

CLIENT/PROJECT: **MICHAEL MULLINS  
MT. BATTIE WAREHOUSE**

LOCATION: **MT. BATTIE STREET**

TOWN: **CAMDEN** COUNTY: **KNOX** STATE: **MAINE**

DATE: **JANUARY 29, 2019**

NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE: 11/23/21

4/29/21

3/9/21

8/13/20

11/12/19

6/7/19

6 UPDATE ABUTTERS & SIGNATURE BLOCK

5 ADDITIONAL PARKING SPACES

4 ADDED CLERESTORY

3 ADDED LOADING PAD, UPDATED PLANTING SCHEDULE

2 CLARIFIED FENCING

1 VERIFIED FENCING ON NORTH AND SOUTH SIDES OF THE PROPERTY, ADDED RETAINING WALL ON NORTH SIDE OF PROPERTY AREA

DRAWN BY: JAM

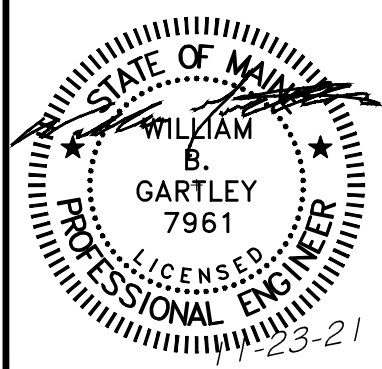
CHECKED BY: JMB

PROJ. NO. **2014-399**

**C1**

**Gartley & Dorsky**  
ENGINEERING SURVEYING

59B Union Street P.O. Box 1031 Camden, ME 04843-1031  
Ph (207) 236-4365 Fax (207) 236-9355 Toll Free 1-888-282-4365  
165 Main Street Suite 211 P.O. Box 1073 Damariscotta, Maine 04845  
Ph (207) 799-5005



IN ORDER TO PROTECT THE SOIL AND WATER  
RESOURCES OF THIS DEVELOPMENT AND ADJACENT LANDS,  
THE FOLLOWING ACTIONS SHALL BE TAKEN:

(WHEN CONSTRUCTION IS INITIATED ON FROZEN GROUND,  
ASTE COMPOST/BARK FILTER BERM SHALL BE UTILIZED IN LIEU OF  
SILT FENCE. SEE DETAIL, THIS SHEET.)

THE FOLLOWING TEMPORARY MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE USED.

4. PRIOR TO TOPSOIL REMOVAL, SILT FENCING SHALL BE STAKED AS SHOWN ON THE PLAN.
5. STRIPPED TOPSOIL SHALL BE STOCKPILED FOR REUSE DURING FINAL GRADING. THE PILE SHALL BE HEAVILY MULCHED WITH HAY WHILE STOCKPILED.
6. TO REDUCE OR ELIMINATE THE TRACKING OF EARTH MATERIALS ONTO PUBLIC RIGHT-OF-WAYS, A STABILIZED PAD OF CRUSHED STONE LOCATED AT THE DESIGNATED ACCESS POINT SHALL BE ESTABLISHED.
7. STABILIZE AREAS WITHIN 75 FEET OF A WETLAND OR WATERBODY WITHIN 48 HOURS OF THE INITIAL DISTURBANCE OF THE SOIL OR PRIOR TO ANY STORM EVENT, WHICHEVER COMES FIRST.
8. BASED ON SITE AND WEATHER CONDITIONS DURING CONSTRUCTION, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED TO STOP SOIL FROM LEAVING THE SITE.

1. EXCESSIVELY STEEP SLOPES (2:1 OR GREATER) SHALL BE PROTECTED BY EROSION CONTROL EXCELSIOR BLANKET WITH BIODEGRADABLE PLASTIC OR JUTE MESH AFTER SEEDING.

- D. NORTHEAST WILDFLOWER MIX (SEE NOTE 4 THIS SECTION)
3. THE CONTRACTOR SHALL MAINTAIN THE SEEDS AND MULCHED AREAS UNTIL FINAL ACCEPTANCE OF THE WORK. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS DAMAGED DUE TO WIND, WATER, EROSION, FIRE OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RE-SEEDDED AND RE-MULCHED.
4. PERMANENT WILDFLOWER STABILIZATION: PROVIDE 3" OF LOAM OVER DISTURBED OR NEWLY GRADED SLOPES. APPLY WILDFLOWER SEED MIX ACCORDING TO THE FOLLOWING MIX SPECIFICATIONS: ESTABLISH WILDFLOWER MIX PRIOR TO SEPTEMBER 1. MULCH SHALL BE WEED-SEED FREE STRAW MULCH, APPLIED AT THE RATE OF 4 BALES PER 1000 SQUARE FEET, AS DESCRIBED IN SECTION D. WINTER STABILIZATION. JUTE MULCH NETTING ANCHORING SHALL BE PROVIDED. CONTRACTOR SHALL NOTIFY THE DISTRICT ENGINEER OF ANY SLOPE EROSION OR SLURRING OF SLOPES UP. 8 GAUGE, 6" PLAIN IRON WIRE STAPLES SHALL BE APPLIED PER THE MANUFACTURER'S RECOMMENDATION.

1% NEW ENGLAND ASTER  
1% WHITE YARROW

**WINTER STABILIZATION**

PROVIDE WINTER STABILIZATION IN LIEU OF PERMANENT SEEDING AFTER SEPTEMBER 15, AND FOR ALL WORK REQUIRING TEMPORARY STABILIZATION.

STRAW MULCH: PLACE STRAW MULCH AT THE APPLICATION RATE OF 150 LB/1000 SQ YD OR 1.5 T/1000 SQ YD. STRAW STAKES AND TWINE SHALL BE 8% SLOPE AND NOT SUBJECT TO FLOWING WATER REQUIRING STABILIZATION. STRAW STAKES AND TWINE SHALL BE 10' LONG. STAKES SHALL BE 4" SQUARE YARD WITH CRISS-CROSSED TWINE STRUNG TAUT BETWEEN ALL PILES. MAKE FOUR TURNS OF TWINE.

1. PROVIDE WINTER STABILIZATION IN LIEU OF PERMANENT SEEDING AFTER SEPTEMBER 1, IN LIEU OF SODDING AFTER NOVEMBER 15, AND FOR ALL WORK REQUIRING TEMPORARY STABILIZATION AFTER OCTOBER 15 AS FOLLOWS:

3. D. STABILIZATION PERFORMANCE CRITERIA
1. PERMANENT STABILIZATION IS DEFINED AS FOLLOWS:
2. SEEDDED AREAS, FOR SEEDDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
3. SODDED AREAS, FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
4. NEWLY SEEDD OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND

1. PERMANENT STABILIZATION IS DEFINED AS FOLLOWS:

2. SEEDED AREAS. FOR SEEDDED AREAS, PERMANENT STABILIZATION MEANS A 90% COVER OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR RILLING OF THE TOPSOIL.
3. SODDED AREAS. FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
4. NEWLY SEEDDED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE VEGETATION IS WELL-ESTABLISHED WITH 90% COVER BY HEALTHY VEGETATION. IF NECESSARY, AREAS MUST BE REWORKED AND REESTABLISHED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT. FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH AN APPROVED MULCHING METHOD. EROSION CONTROL, EITHER BY MULCH OR MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE APPROVED APPLICATION RATES AND LIMITATIONS.
5. RIPRAP. FOR AREAS STABILIZED WITH RIPRAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIPRAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR APPROVED GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIPRAP. STONE MUST BE SIZED APPROPRIATELY. IT IS RECOMMENDED THAT ANGULAR STONE BE USED.
6. PAVED AREAS. FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED, PROVIDED IT IS FREE OF FINE MATERIALS THAT MAY RUNOFF WITH A RAIN EVENT.
7. DITCHES, CHANNELS, AND SWALES. FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH A 90% COVER OF HEALTHY VEGETATION, WITH A 90% COVERED RIPRAP LINING, TURF REINFORCEMENT MAT, OR WITH ANOTHER NON-EROSIVE LINING SUCH AS CONCRETE OR ASPHALT PAVEMENT. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE CHANNEL LINING, UNDERCUTTING OF THE CHANNEL BANKS, OR DOWN-CUTTING OF THE CHANNEL.

1. AGGREGATE FOR GRAVEL BASE & SUBBASE  
 AGGREGATE FOR GRAVEL BASE FOR TYPE A, B & C SHALL BE CRUSHED LEDGE OR GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.  
 AGGREGATE FOR GRAVEL BASE FOR TYPE D SHALL BE SAND OR GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

No. 200	0-6.0	0-6.0	0-6.0	0-7.0
EGGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE				
AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 4 INCH SQUARE				
EGGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE				
AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD				
ON SURFACES OF EITHER FINE OR COARSE MATERIAL. OVERSIZED STONES SHALL BE REMOVED				

TYPE D AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVERSIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY CONSTRUCTED.

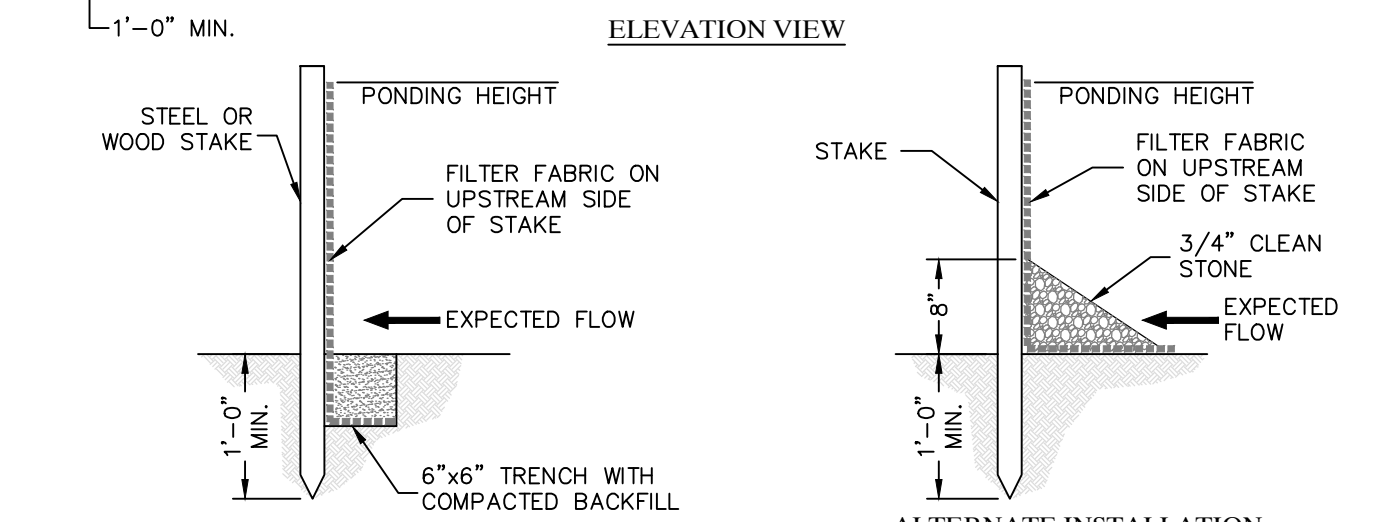
DETERMINED BY ASTM D-1557 MODIFIED PROCTOR DENSITY HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL.

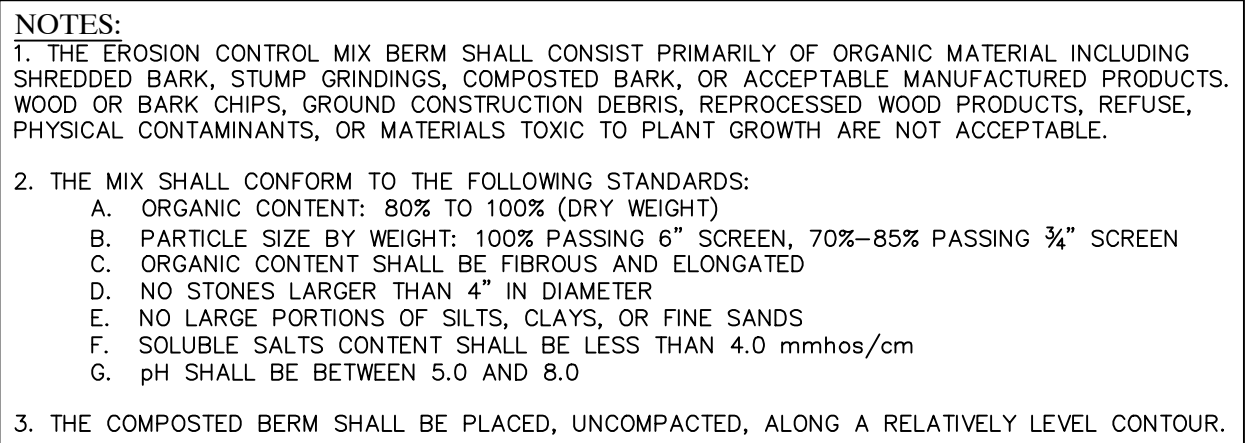
THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

STRUCTURAL BACKFILL CONFORMING TO MaineDOT 703.20 SHALL BE UTILIZED IN THE ABSENCE OF GEOTECHNICAL REPORT RECOMMENDATIONS FOR FILL BELOW AND ADJACENT TO FOUNDATIONS, FOOTINGS AND SLABS. PROVIDE DEWATERING AND PERMANENT DRAINS WHERE INDICATED. COMPACT ALL STRUCTURAL BACKFILL TO 95% MODIFIED PROCTOR DENSITY. PLACE STRUCTURAL BACKFILL IN LIFTS OF 10"-12" MAXIMUM DEPTH.

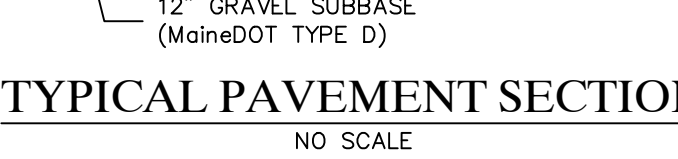


1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. THE FENCE SHALL BE ANCHORED TO RESIST PULL-OUT, AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING.
3. A PREFABRICATED SILT FENCE IS ACCEPTABLE IF INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
4. A 6" WIDE BY 6" DEEP TRENCH SHALL BE EXCAVATED UPGRADIENT OF THE FENCE POSTS TO KEY THE FLAP OF FIBER FABRIC INTO THE GROUND. THE TRENCH SHALL BE BACKFILLED AND COMPACTED. IN AREAS WHERE THE FLAP OF FIBER FABRIC CAN NOT BE TIGHTLY FASTENED TO THE GROUND, A STONE BED OR STONE BERM (OR OTHER PROTECTED NATURAL RESOURCES, ETC.) THE SILT FENCE SHOULD BE ANCHORED WITH AGGREGATE, CRUSHED STONE, EROSION CONTROL MIX OR OTHER MATERIAL.
5. WHEN JOINTS ARE NECESSARY, FIBER FABRIC SHALL BE SPLICED BY WRAPPING END STAKES TOGETHER.
6. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
7. MAXIMUM SEDIMENT STORAGE HEIGHT IS 9".
8. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE RELOCATED TO AN APPROPRIATE LOCATION.
9. SHOULD THE SILT FENCE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
10. IN AREAS WITH HIGH FLOWS OR CONCENTRATED FLOW CHANNELS, FENCE SHOULD BE REPLACED PROMPTLY.
11. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UP SLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

## NO SCALE

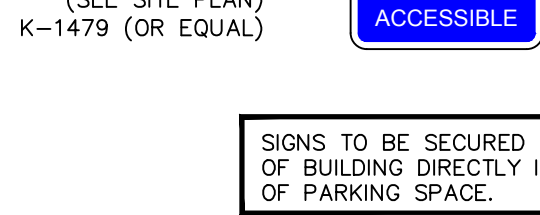
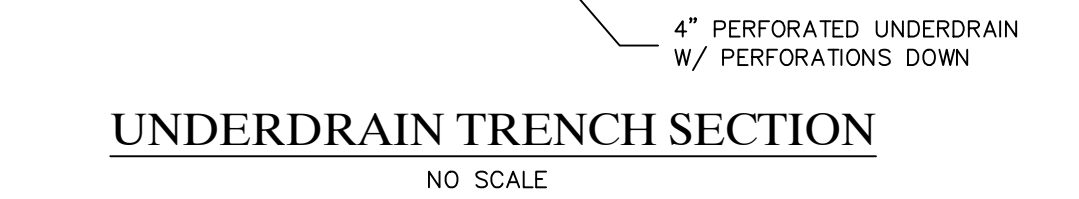


NO SCALE

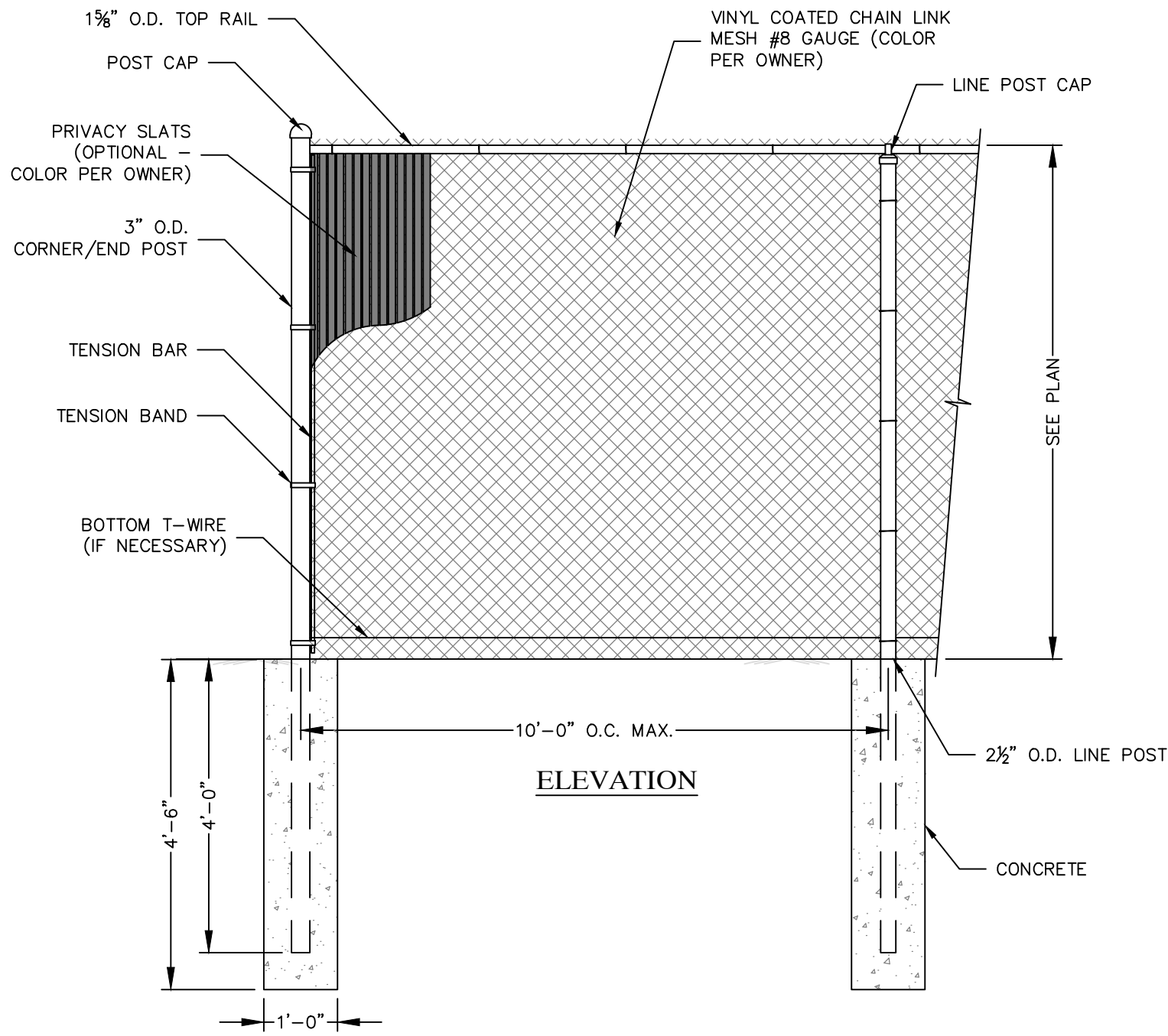


PARKING STALLS WILL NOT BE PAINTED BY CONTRACTOR.  
OWNER WILL SEASONALLY MARK AS NECESSARY.

**& SPECIFICATION**  
NO SCALE

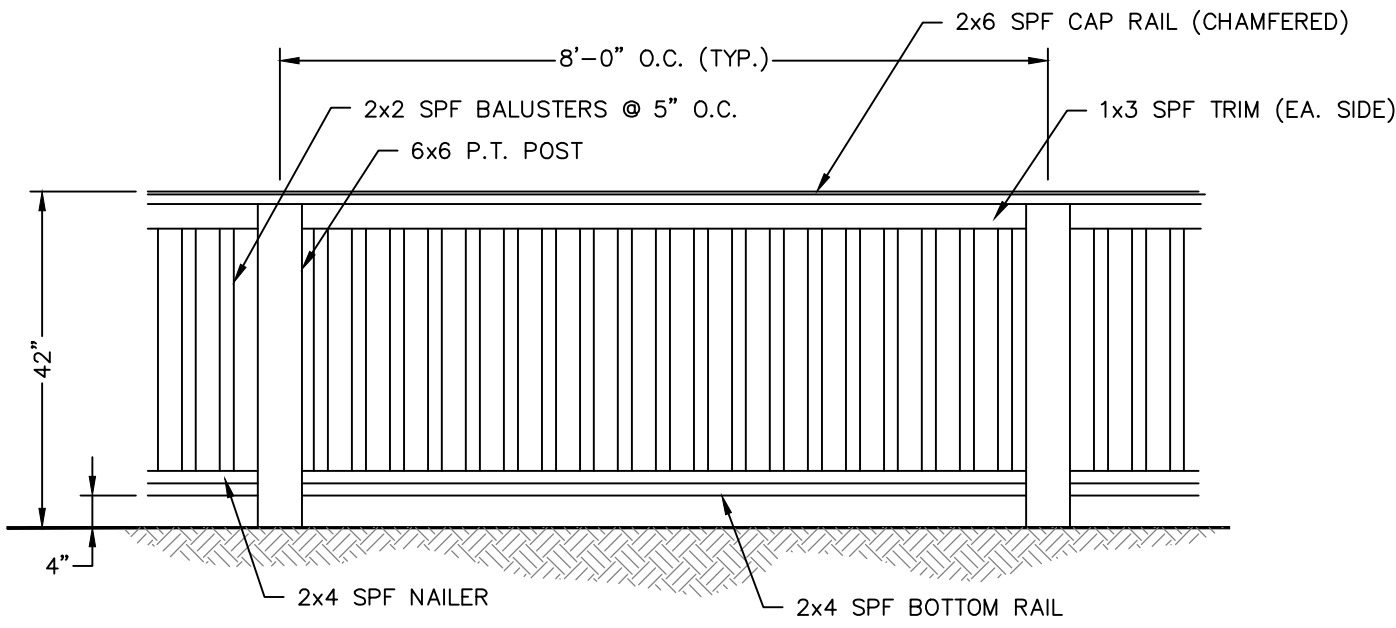


SIGN WITH (VAN PLACARD)  
NO SCALE

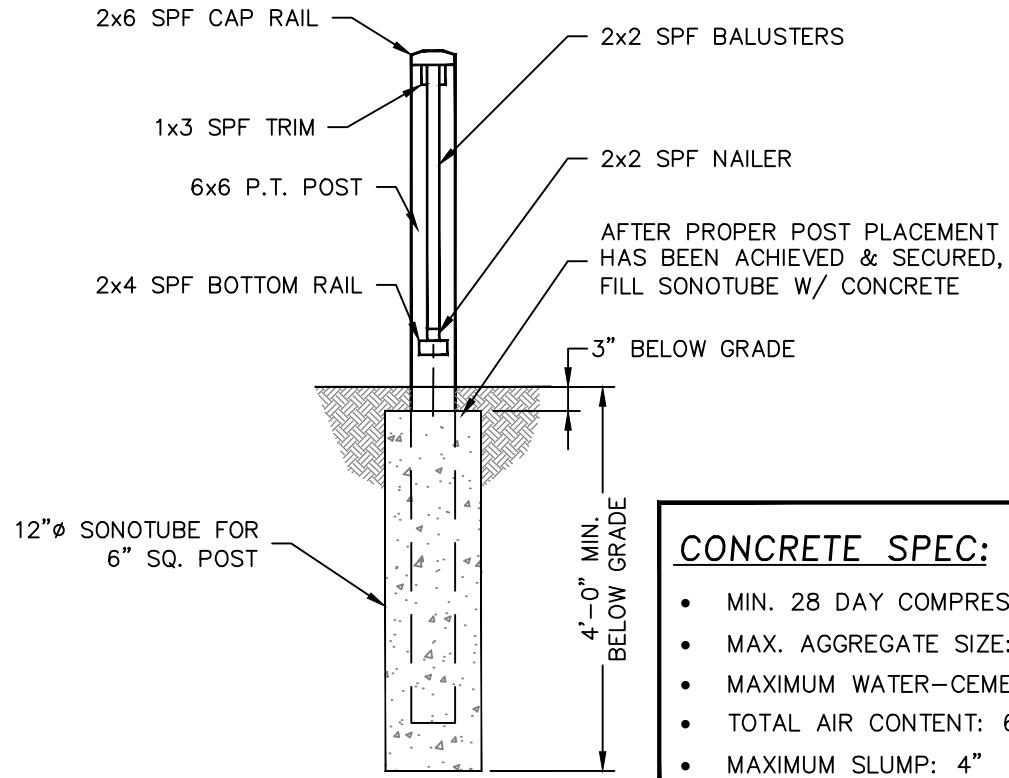


- NOTES:**
1. ALL MATERIALS SHALL CONFORM WITH AASHTO M181
  2. ALL PIPES SHALL BE GALVANIZED STEEL
  3. FENCE SHALL HAVE A 2" MESH 8 GAUGE COATED WIRE.
  4. GATES TO MATCH FENCE.
  5. POSTS SHALL BE DRIVEN A MINIMUM OF 24 INCHES PLUS AN ADDITIONAL 3" FOR EACH 1 FOOT INCREASE IN THE FENCE HEIGHT OVER 4 FEET.
  6. ALL GATE POSTS AND CORNER POSTS SHALL BE SET IN CONCRETE FOOTINGS HAVING A MIN. DIA. OF 12" AND A MINIMUM DEPTH OF 54".
  7. POSTS DRIVEN LESS THAN 24" SHALL BE SET IN 8" DIA. CONCRETE SONOTUBE, NO POST SHALL BE LESS THAN 18".

**CHAIN LINK FENCE DETAIL**  
NO SCALE

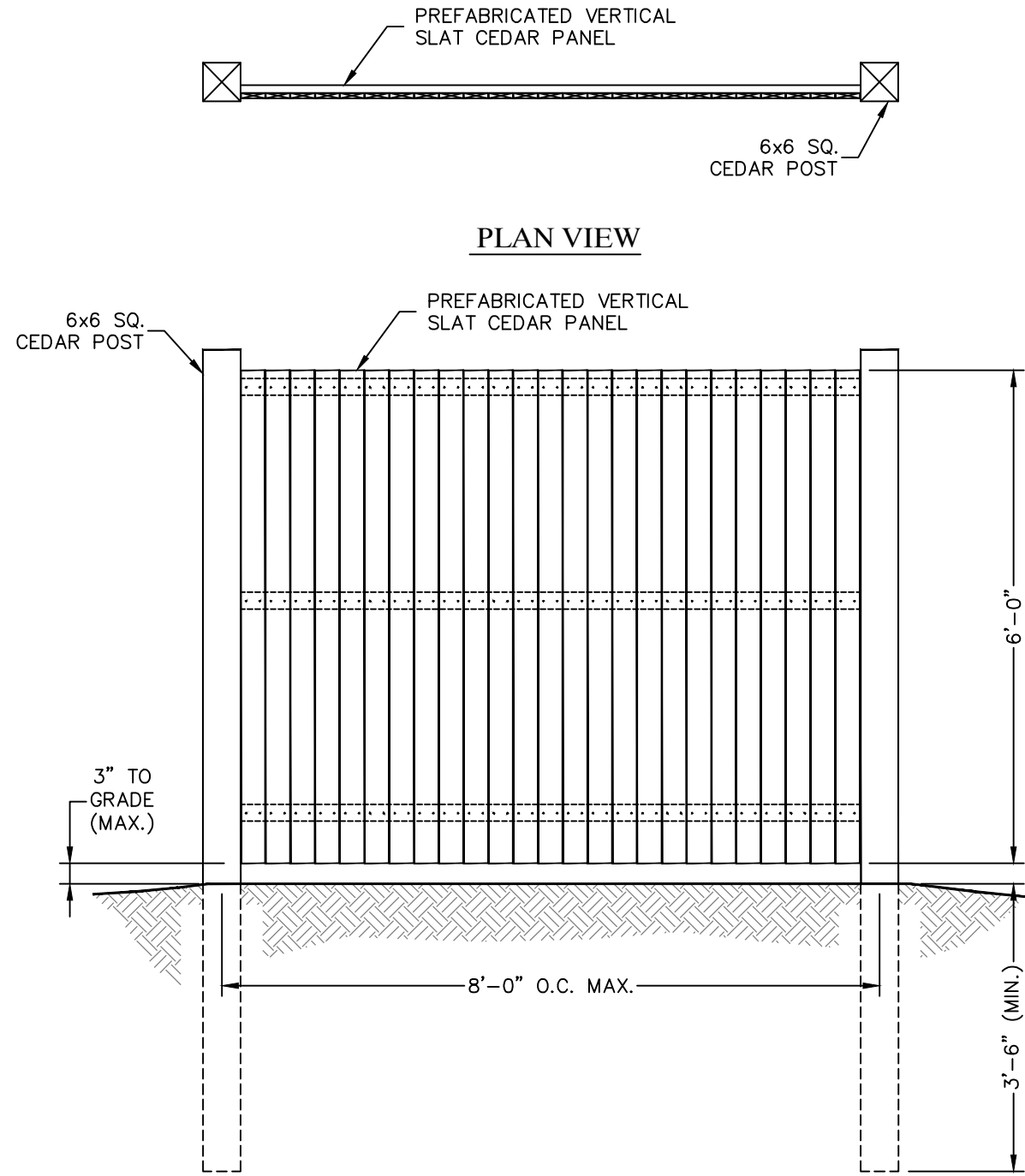


**ELEVATION**  
NOTE: ALL GATES TO MATCH FENCE



- CONCRETE SPEC:**
- MIN. 28 DAY COMPRESSIVE STRENGTH: 3000 P.S.I.
  - MAX. AGGREGATE SIZE: 3/4" (NOMINAL) STONE
  - MAXIMUM WATER-CEMENT RATIO OF 0.50
  - TOTAL AIR CONTENT: 6 PERCENT
  - MAXIMUM SLUMP: 4"

**SECTION**  
**WOOD BALUSTER FENCE DETAIL**  
SCALE: 1/2" = 1'-0"

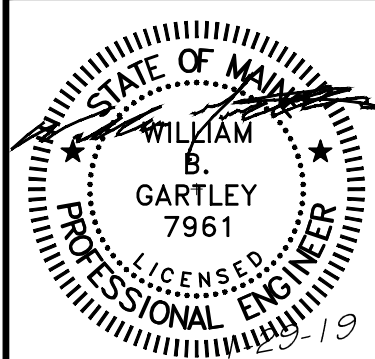


**EXTERIOR ELEVATION**

- FENCE NOTES:**
1. ALL POSTS TO BE SET IN 12" CONCRETE FILLED SONOTUBES SET TO A DEPTH OF 4'-6" BELOW GRADE AND COMPACTED ALL AROUND.
  2. POST SET ON LEDGE SHALL BE DRILLED AND PINNED. ANCHORING METHOD TO BE APPROVED BY SITE ENGINEER.
  3. 2x4 CEDAR RAILS SHALL HAVE DOWELED ENDS FOR POST CONNECTION.
  4. ALL GATES TO MATCH FENCE. TWO LEAVES.
  5. STAIN POSTS & PANELS - COLOR PER OWNER
  6. ALL HARDWARE TO BE STAINLESS, OR OTHER APPROVED CORROSION RESISTANT MATERIAL.

**WOODEN FENCE DETAIL**  
NO SCALE

**Gartley & Dorsky**  
ENGINEERING SURVEYING  
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165 Main Street Suite 217 P.O. Box 1072 Damariscotta, Maine 04843  
Ph: (207) 790-5065



PROJ. NO. 2014-399

**C3**

**SITE DETAILS**

SCALE: AS SHOWN

DATE: JANUARY 29, 2019

DRAWN BY: JAM

NO.

REVISIONS

DATE